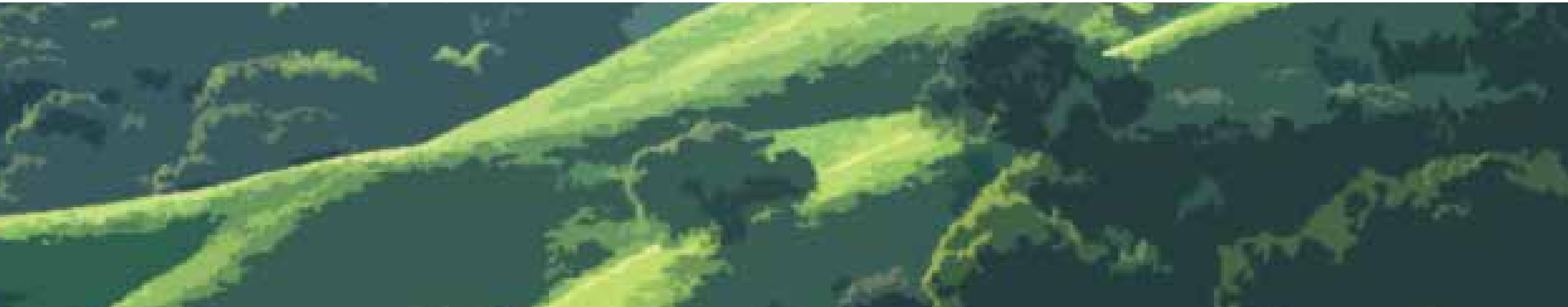


ROSSMOOR

SHOPPING CENTER

1900-1996 Tice Valley Blvd.



MASTER SIGNAGE PROGRAM

CITY APPROVAL SET

APRIL 08, 2019

WeidnerCA
Ross+Luthin Creative



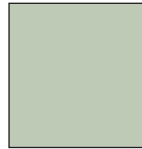

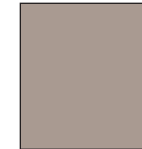
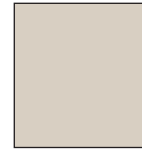



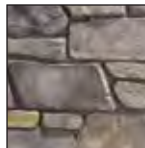

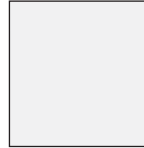
Final Approved Version
Revised as per the conditions
of DRC Resolution No. 3049
of Application No. Y18-075.

ABCDEFGHIJKLMNOPQRSTUVWXYZ
1234567890 abcdefghijklmnopqrstuvwxyz

Gotham Medium
Fonts

Table Of Contents

Description	Page
Project Signage	
Sign Locations - Perimeter	1.0
FS Freestanding Sign	2.0
VD Vehicular Directional	3.0
Tenant Signage	
General Tenant Signage Criteria	T.1-T.2
Tenant Signage Zones	T.3
Major Tenant Signage	T.4
Store Tenant Wall Signage	T.5
Shingle Signs	T.6
Tenant Building Elevations	T.7-T.14

								
P1 Benjamin Moore Wickham Gray HC-171	P2 Benjamin Moore Buxton Blue HC-149	P3 Benjamin Moore Prescott Green HC-140	P4 Benjamin Moore Anchor Gray 2126-30	P5 Ashley Gray HC-87	P7 Benjamin Moore Cedar Key OC-16	P8 Benjamin Moore Whale Gray 2134-40	P9 Match 3M Duranodic	P10 Match Wood Stain WS-01
								
S1 Eldorado Stone, Fieldledge, Adante	M1 Translucent Acrylic White		V1 Reflective White					

Colors & Materials

ROSSMOOR
SHOPPING CENTER

Logo



Vicinity Map

ROSSMOOR
SHOPPING CENTER

PROJECT SIGNAGE

Area: 8 s.f.
Height: 4'-4"

VD-1

Area: 6 s.f.
Height: 4'-4"

VD-6

Area: 32 s.f.
Height: 10'-5"

FS-2

FS-1

Area: 32 s.f.
Height: 10'-5"

FS-1

Area: 8 s.f.
Height: 4'-4"

VD-5

Area: 6 s.f.
Height: 4'-4"


VD-3

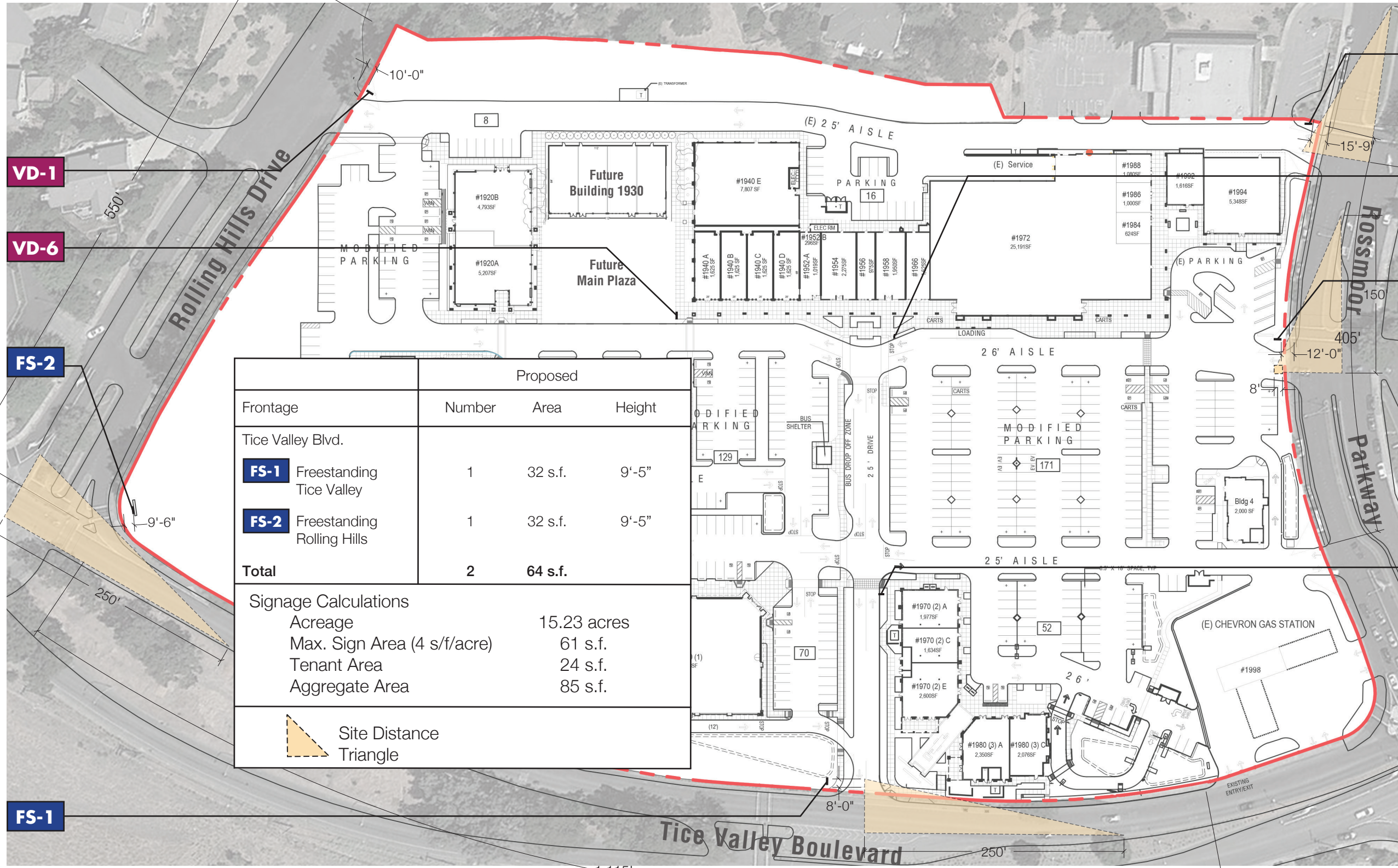
Area: 8 s.f.
Height: 4'-4"

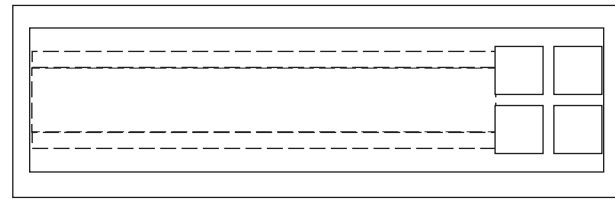
VD-2

Area: 6 s.f.
Height: 4'-4"

VD-4

		Proposed	
Frontage		Number	Area Height
Tice Valley Blvd.	FS-1 Freestanding Tice Valley	1	32 s.f. 9'-5"
	FS-2 Freestanding Rolling Hills	1	32 s.f. 9'-5"
Total		2	64 s.f.
Signage Calculations			
Acreage		15.23 acres	
Max. Sign Area (4 s/f/acre)		61 s.f.	
Tenant Area		24 s.f.	
Aggregate Area		85 s.f.	
 Site Distance Triangle			





Top

Fabricated aluminum columns with painted finish.

(P10)

Dashed line indicates sign area. (32 s.f.)

Fabricated aluminum sign cabinet with painted finish.

(P9)

Lettering is reverse cut out of aluminum face with push-thru translucent acrylic lettering and internal LED light sources. Only letters are illuminated. Back-

(M1)

Aluminum tenant sign panels

(P1)

Tenant names/logos are reverse cut out of aluminum face with push-thru translucent acrylic and internal LED light sources. Only letters/logos are illuminated. Background is opaque. Tenants may use brand colors.

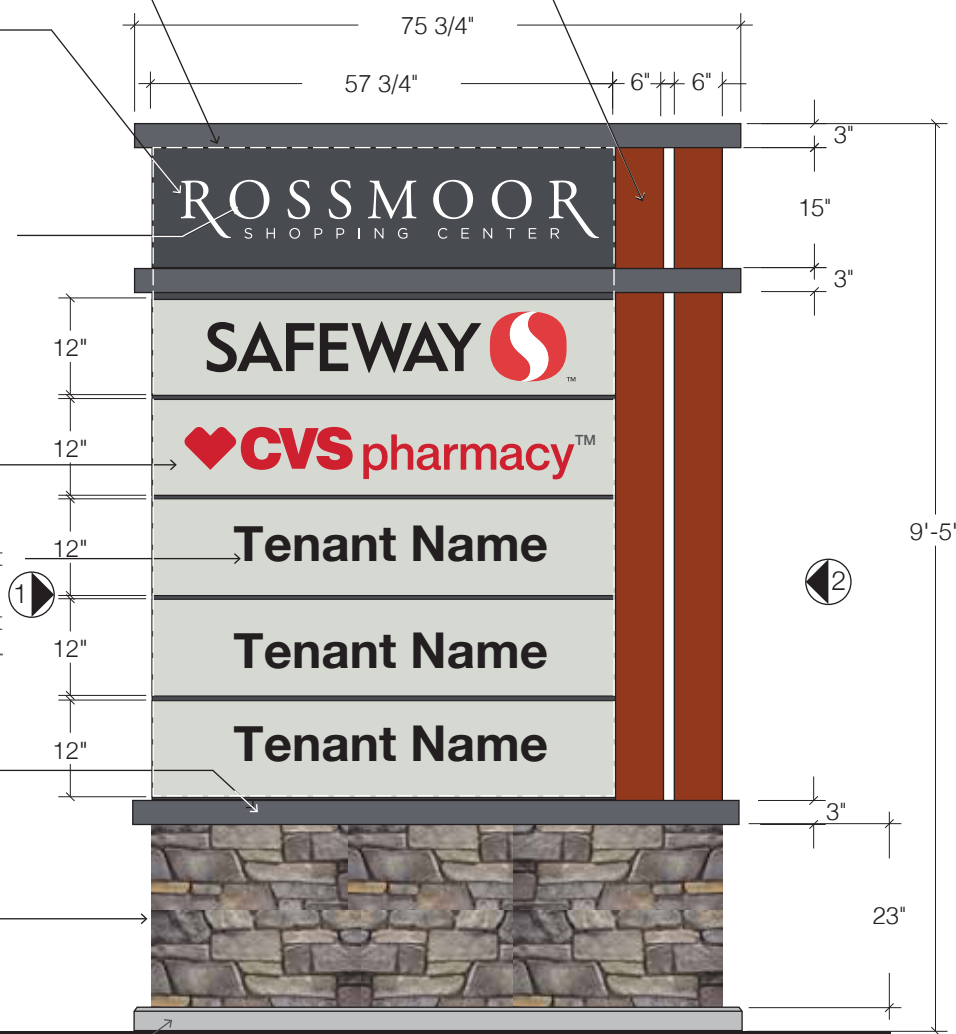
Painted aluminum trim top and bottom.

(P4)

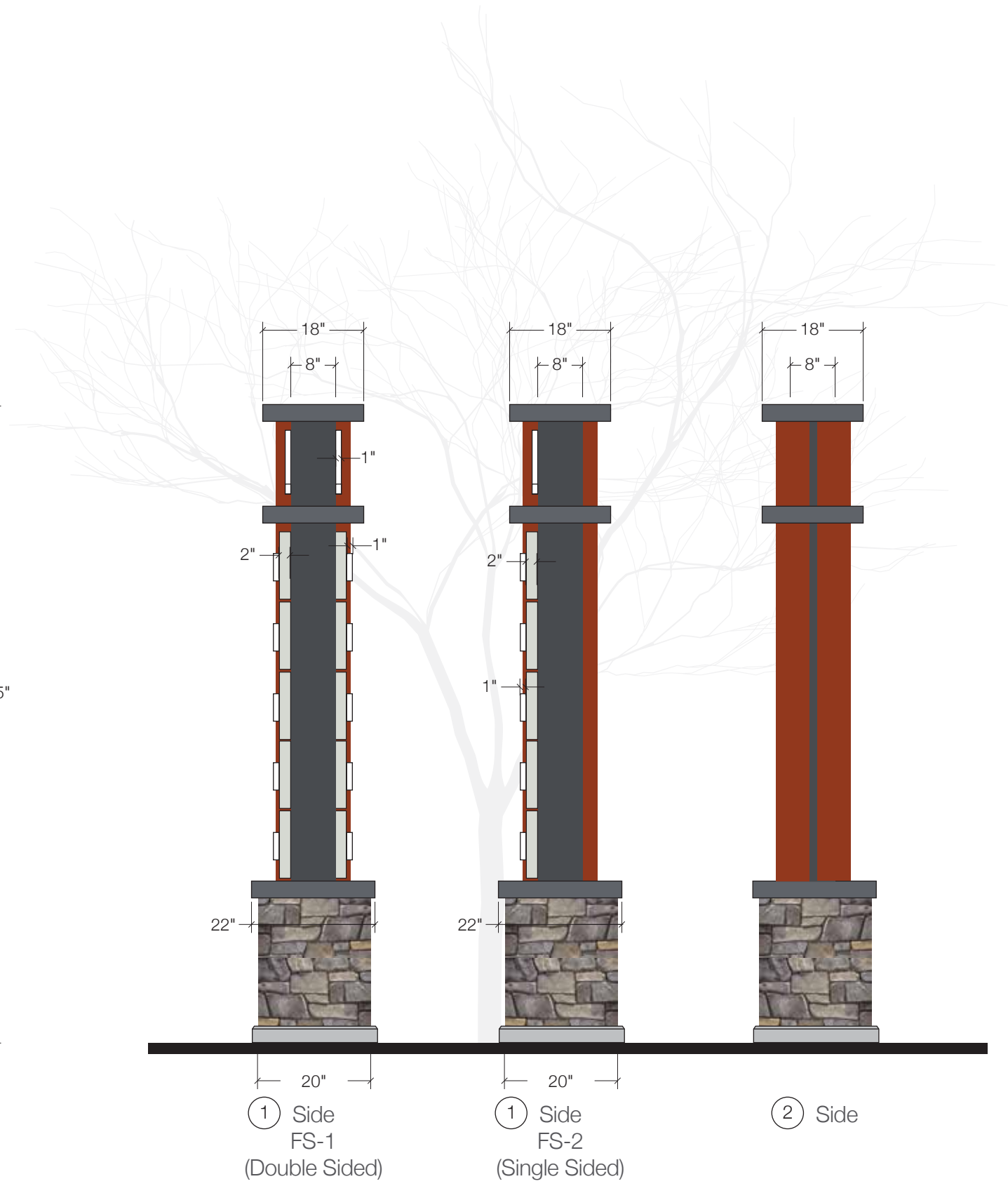
Sign base with stone veneer.

(S1)

Concrete mow strip.



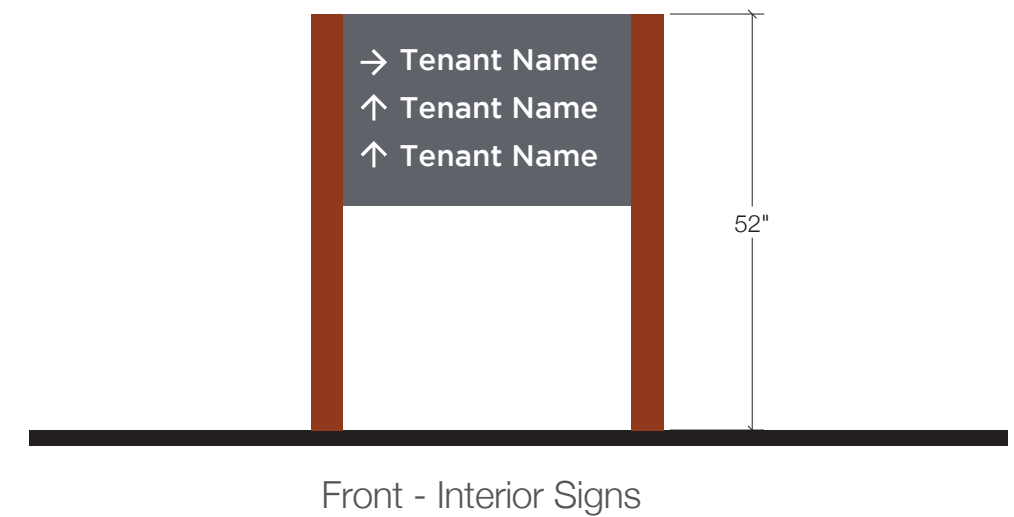
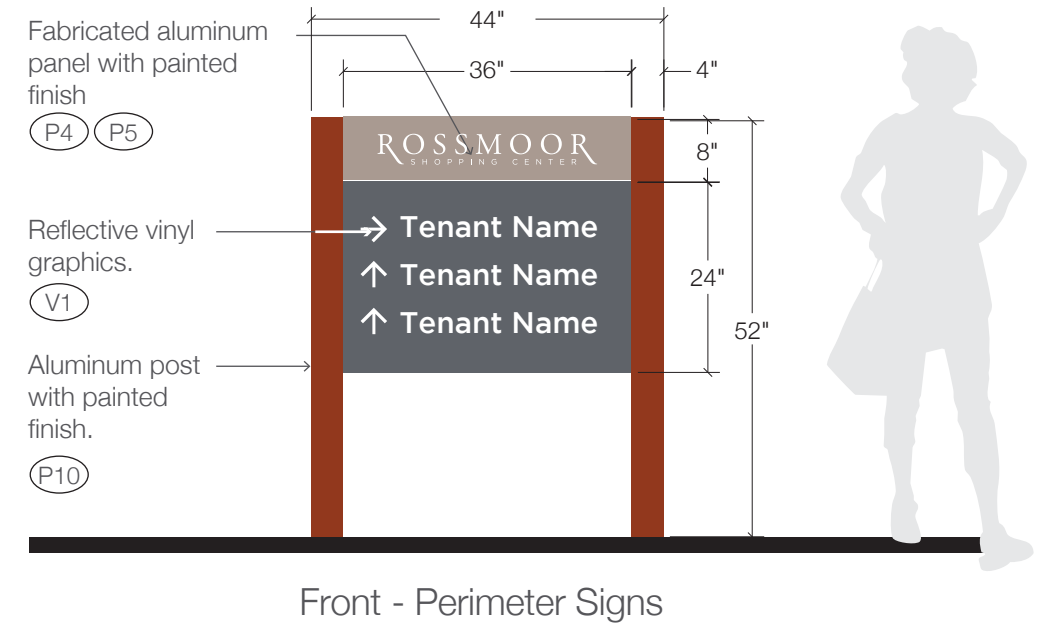
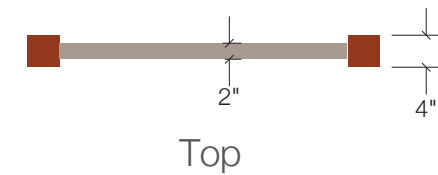
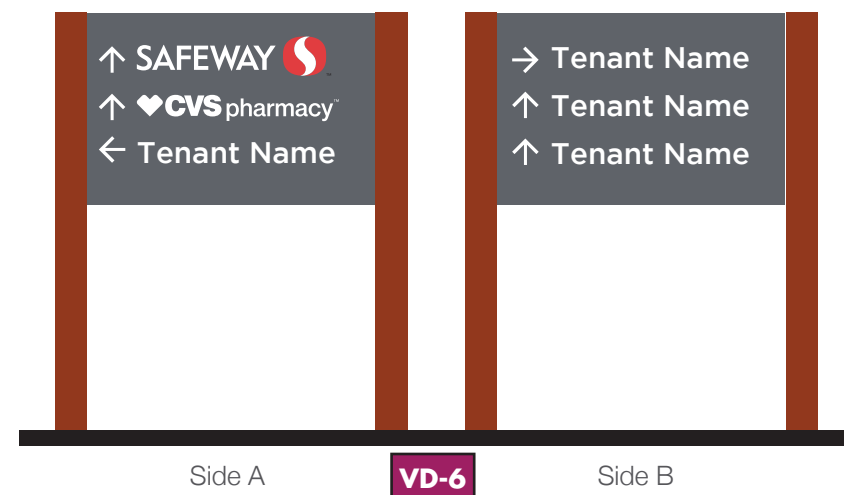
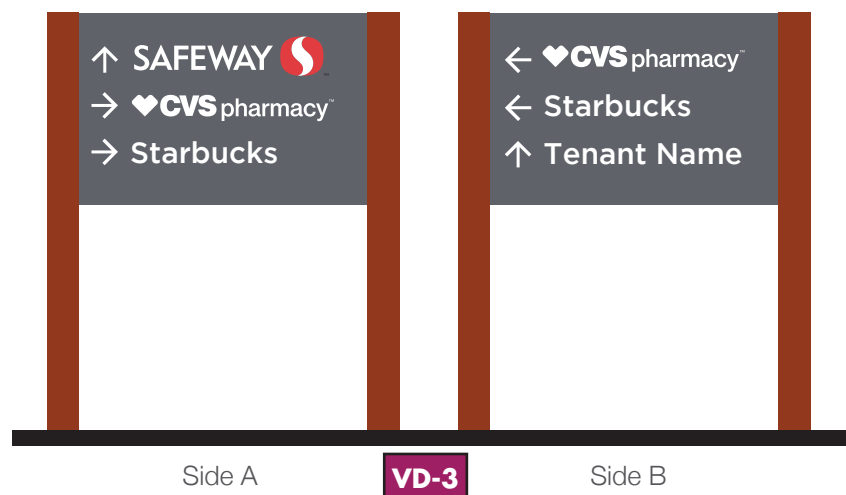
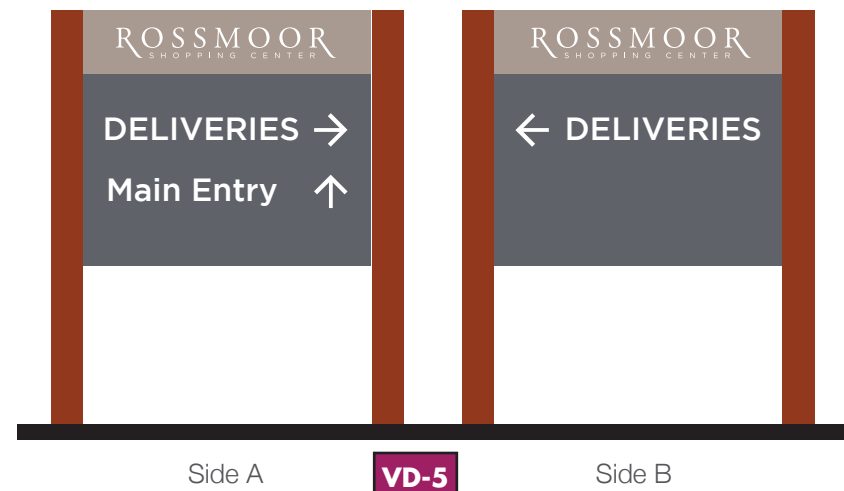
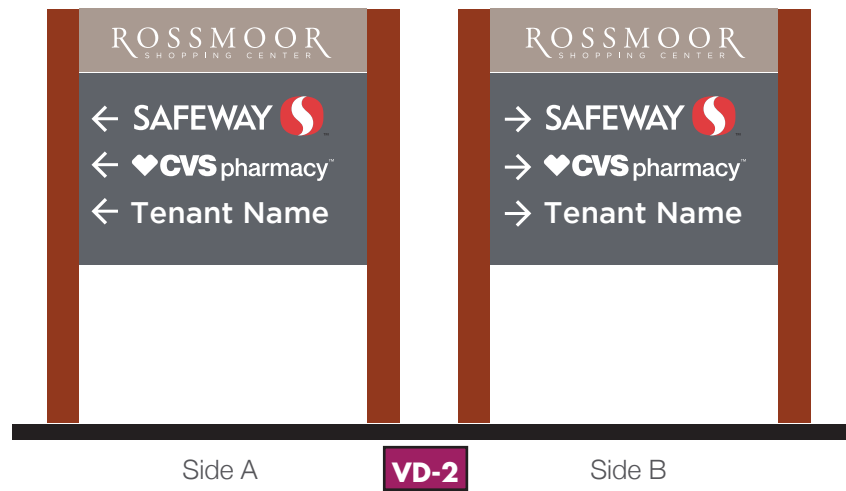
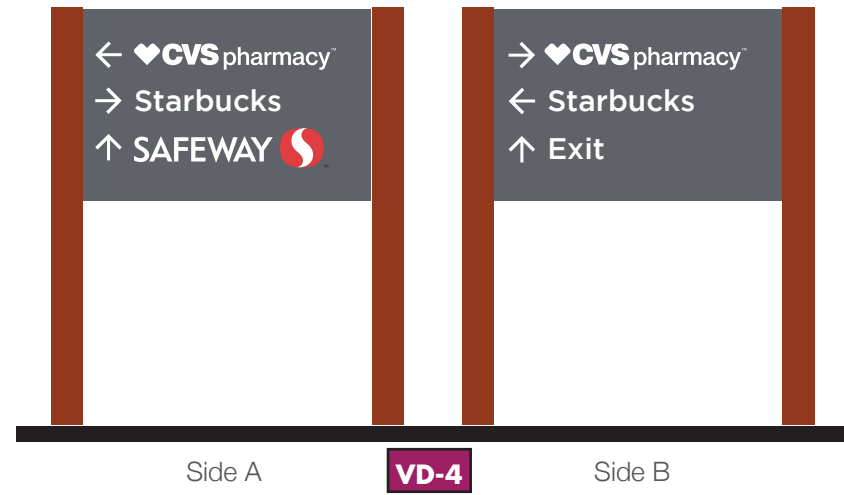
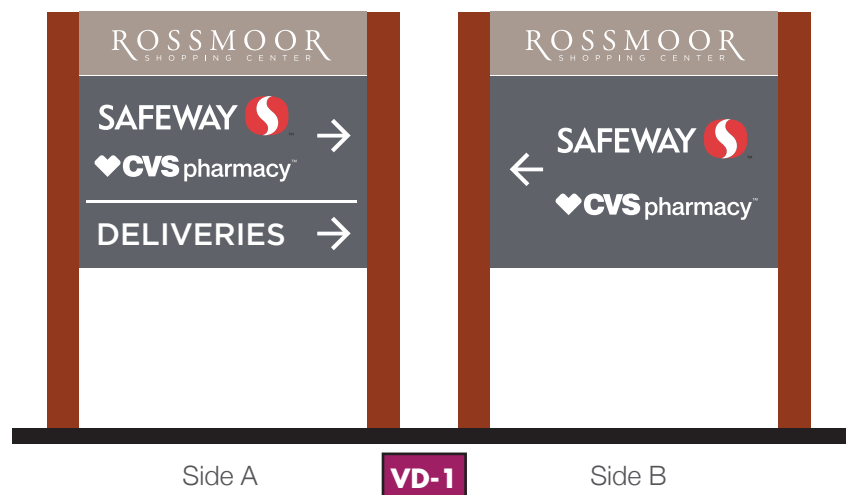
Face



① Side FS-1 (Double Sided)

① Side FS-2 (Single Sided)

② Side



ROSSMOOR
SHOPPING CENTER

TENANT SIGNAGE

1.0 Intent And Purpose

1.1 Intent: These retail signage guidelines are established for the purpose of assuring high quality Major and Store tenant signage at Rossmoor Shopping Center in Walnut Creek, California.

This document describes the acceptable types of signs, materials, locations, sizes and illumination methods and outlines the process for signage review and approval. Renderings, drawings, and shop drawings contained in these guidelines are included for illustrative purposes only and are intended to aid the Tenant in complying with the design criteria.

1.2 Interpretation and Compliance: As administrators of the tenant sign criteria, the Owner/Landlord is the final arbitrator of criteria compliance. Special circumstances may require interpretation of these criteria, and the Owner/Landlord will remain flexible in the review process. Once Owner/Landlord approval is obtained, all signage must receive appropriate City issued signage permits before being fabricated or installed.

If ownership should change for all or part of the project and/or the retail tenant spaces, the guidelines herein established shall remain applicable and in force under the new ownership.

2.1 Submittal, Review And Approval Process

Prior to construction of any sign or application for City sign permits, the tenant or tenant's representative must obtain the Owner/Landlord's written approval of the proposed sign design. The review and approval process shall be as follows:

- 2.1 Tenant to submit completed City sign application along with required drawings to Owner/Landlord.
- 2.2 Owner/Landlord shall review designs and either approve, approve with corrections, or deny application within 21 calendar days of receipt of application.
- 2.3 If application is denied, tenant shall review reasons for denial and then revise their application to address the Owner/Landlord's concerns and resubmit the application.
- 2.4 Once approval is granted by the Owner/Landlord, tenant may then proceed with their sign permit application to the City.
- 2.5 Signage installed without Owner/Landlord and City approval will result in the removal of signage at Tenant's sole expense.

3.0 General Criteria For All Signage

- 3.1 Code Compliance
All signage shall comply with local building codes and the City of Walnut Creek sign regulations.
- 3.2 Maintenance
Maintenance of installed signs is the tenant's sole responsibility. It is expected that damaged or deteriorated signs or non-functioning signage lighting will be repaired promptly and restored to a like-new condition. Within ten days after receiving written notice from the Owner or the City, Tenant will complete all repairs requested. If repairs and remedies are not made within this time period, the Owner may undertake repairs at the Tenant's expense.
- 3.3 Allowable Messages:
Sign messages shall be limited to the tenant name and/or logo. Subtext, advertising or product messages may not be included as part of the project's or tenant's permanent signage. Use of Logo-marks and corporate identity elements (such as symbols, special shapes, etc.) is allowed, but will be considered signage and are subject to all regulations contained in these guidelines.
- 3.4 Allowable Sign Types
The sign types outlined in these guidelines are the only signs permitted on the building or property.
- 3.5 Lighting
When sign lighting is permitted, low voltage, LED and other high efficiency lighting is encouraged wherever appropriate. Uplighting is not permitted for any signage.
- 3.6 Licenses Required
Sign installers are to be State of California licensed contractors and are required to provide contractor's license number(s), classifications and expiration date; proof of liability insurance and evidence of Worker's Compensation Insurance to the Owner prior to conducting any work.
- 3.7 Installation Detailing
Tenant to provide drawings showing all signage fabrication detailing, attachment methods, waterproofing details and electrical connections.
- 3.8 Removal at Move-Out
When vacating a retail space, the tenant, at their expense, shall remove all signage, patch and repair all damage and leave the buildings surfaces in as-new condition.

4.0 Prohibited Signs And Sign Components

In addition to the signs prohibited by the City, the following signs and sign components are not permitted:

- 4.1 Vacuum formed plastic letters or sign faces.
- 4.2 Moving, flashing, rotating, or odor producing signs. Digital and changing message signs, flip matrix or other variable message display technologies.
- 4.3 The name, stamps or decals of the sign manufacturer, City permit information, U.L. labels etc. shall be applied in an inconspicuous manner unless required otherwise by City ordinance.
- 4.4 Exposed non-ornamental hardware or electrical conduit and components that are not complimentary to the overall sign design.
- 4.5 Back-lit awnings with illuminated graphics are not allowed.
- 4.6 Portable signs (including A-Frame).
- 4.7 Non-professional hand painted signs.
- 4.8 Devices projecting or otherwise reproducing the image of a sign or message on any surface or object.
- 4.9 Any strings of pennants, or streamers, clusters of flags strings of twirlers or propellers, flares, balloons, and similar attention-getting devices, including noise-emitting devices.

5.0 City of Walnut Creek Sign Standards

- 5.1. Size. (Per City of Walnut Creek, Sec. 10-8.104): Total aggregate sign area is calculated based upon the building frontage, or principal frontage of the particular use, however all signs shall be designed to compliment the architectural proportions of the walls to which signage is mounted.
- a. Calculation of Maximum Size Allowance. The maximum total aggregate sign area permitted for a business or use shall not exceed one (1) square foot of sign area for each one (1) foot of principal building frontage occupied by such business or use. In addition, one square foot of sign area for each two hundred square feet of gross floor area occupied by such business may be included in the calculation of the total area permitted.
- b. Buildings With More Than One Frontage. Any business which has more than one building frontage may have one hundred sixty percent (160%) of the sign surface area permitted on the principal frontage. The permitted sign surface area may be distributed in any manner on the front and adjacent sides of the building which have frontage, but in no event shall the sign surface area on any building face exceed one hundred percent (100%) of the sign surface area permitted by the provisions of 5.1.a. Landlord may, at the Landlord's sole discretion, require a tenant to install signage on the secondary frontages of the building.
- 5.2. Number of Wall Signs. Each tenant may have one Wall sign per tenant building frontage with a maximum of four signs for any single tenant. Major tenant's may have two additional secondary message signs on one frontage.
- 5.3. Placement. All signs shall be placed flat against the wall or window of the building. No wall sign shall extend, project or protrude laterally in any manner beyond the wall of the building or portion thereof occupied by the business identified by such sign other than as necessitated by the thickness of such sign.
- 5.4. Minimum Sign Area. All tenants are permitted a minimum of 20 s.f. of signage area regardless of storefront width.

- 5.5. Wall Sign Height. No part of any sign attached to a building shall be higher than twenty- five (25) feet from the finished grade of the ground below the sign to the highest elevation of the sign structure.
- 5.6 Area. Overall sign area is defined as a single area (Bounding Box) enclosed by a continuous line composed of 90 degree angles not to exceed (4) breaks. Any trim, backing, frame, structure and or element used to differentiate the sign from its back ground will be included in the calculation of allowable square footage. Ascending and descending characters may extend beyond the sign area Bounding Box.

6.0 Regulations by Tenant and Sign Type

6.1 Major Tenant Signage

See Page T.3 for Major Tenant locations.
See Page T.4 for details.

6.2 Store Tenant Wall Signs

See Page T.3 for Tenant locations.
See Page T.5 for details.

6.3 Shingle Signs

See Page T.6 for details.

6.4 Window Graphics

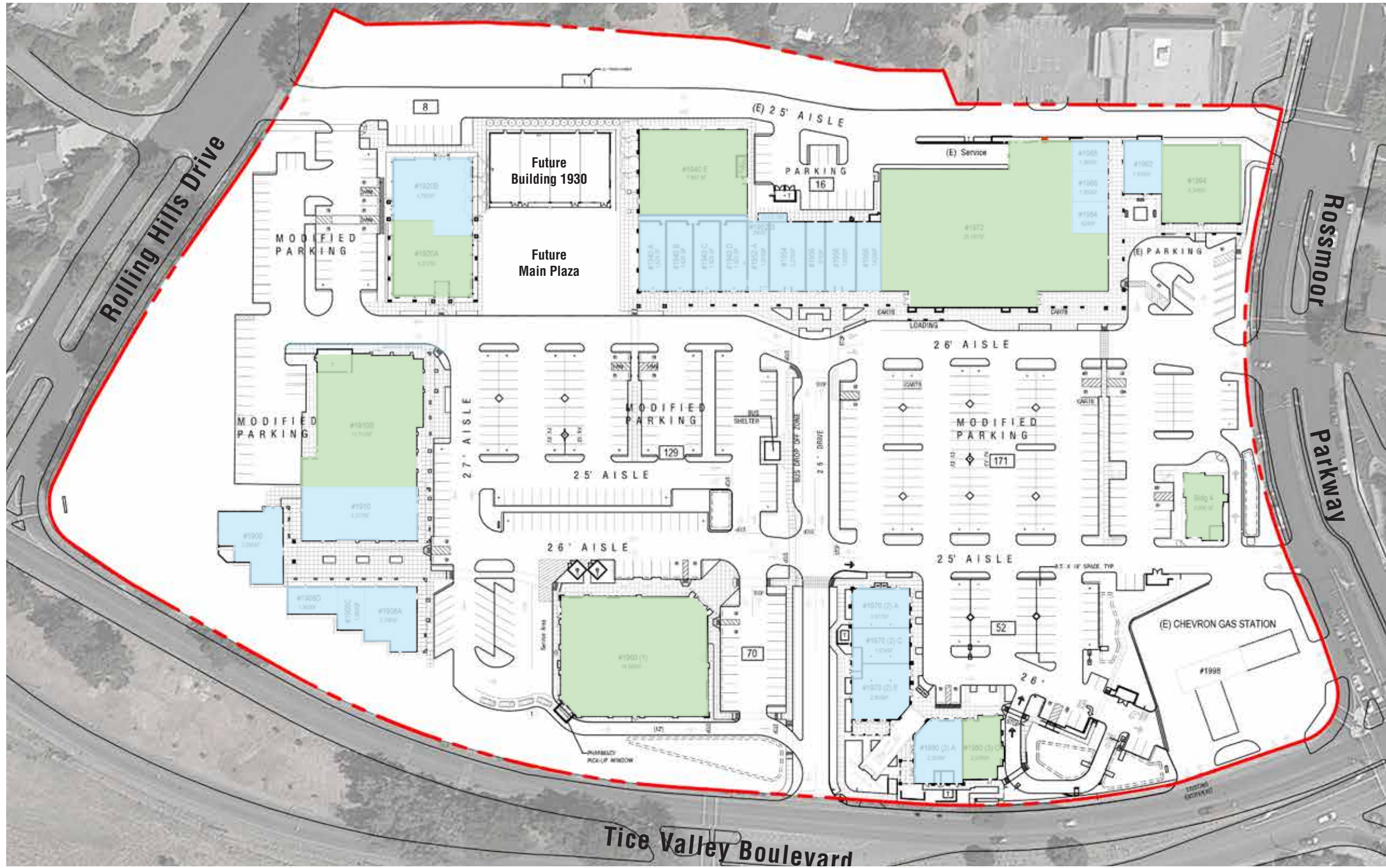
- 6.4.1 Description - A sign attached to, suspended behind, placed or painted upon, the window or glass door of a building which is intended for viewing from the exterior of such building.
- 6.4.2 Size: Not to exceed 15% of contiguous window area.
- 6.4.3 Color: Per tenant standards.
- 6.4.4 Lighting: Unlit

6.5 Service Entry Signs

1. Tenant may post a plaque adjacent to their service entry to identify the service and delivery entry to their spaces. Signs shall be 18" square aluminum panels with the background painted color P2, Benjamin Moore, 2134-20 Midsummer Night, with white vinyl graphics.

6.6 Temporary Signs

1. Temporary signs may be permitted subject to Landlord approval and shall conform to the City of Walnut Creek's sign ordinance Sec. 10-8.108.



- Major Tenant
- Store Tenant

Major Tenant Signage

1. Definition

A major tenant shall be defined as any one of the following:

- Any tenant occupying one of the spaces identified as a "Major" on sheet T.3
- Any tenant that occupies greater than 5,000 SF.
- Any tenant with a drive-up window feature.

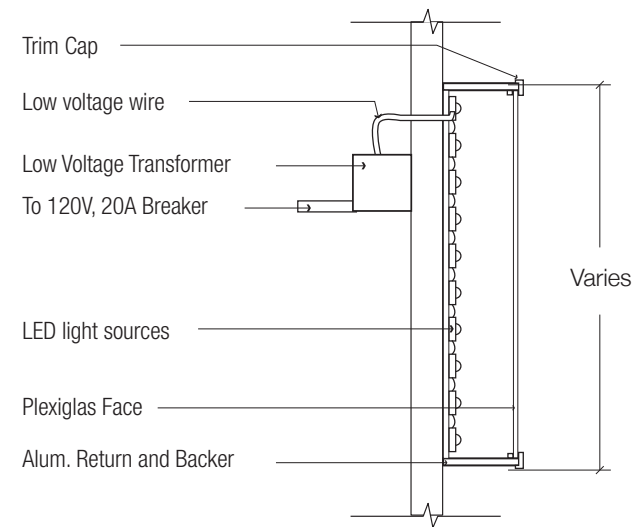
2. General Guidelines

- a. Major tenants shall be reviewed and approved as separate exhibits from this MSP.
- b. Aggregate sign area shall be calculated per 5.0, sheet T.2.
- c. Signage may be internally illuminated fabricated, face lit channel letters and shapes or halo lit letters and shapes as detailed on this page.
- d. Tenants may use their corporate logos, colors and layouts.
- e. Letter/logo face and return (edge) color may vary.
- f. Major tenant's may include up to two secondary messages on one frontage (pharmacy, bakery etc.), but secondary messages shall be included in aggregate sign area calculations.
- g. All signs shall be U.L. approved. All wiring, conduits and raceways are to be concealed.
- h. Lit signs must utilize LED lamps.

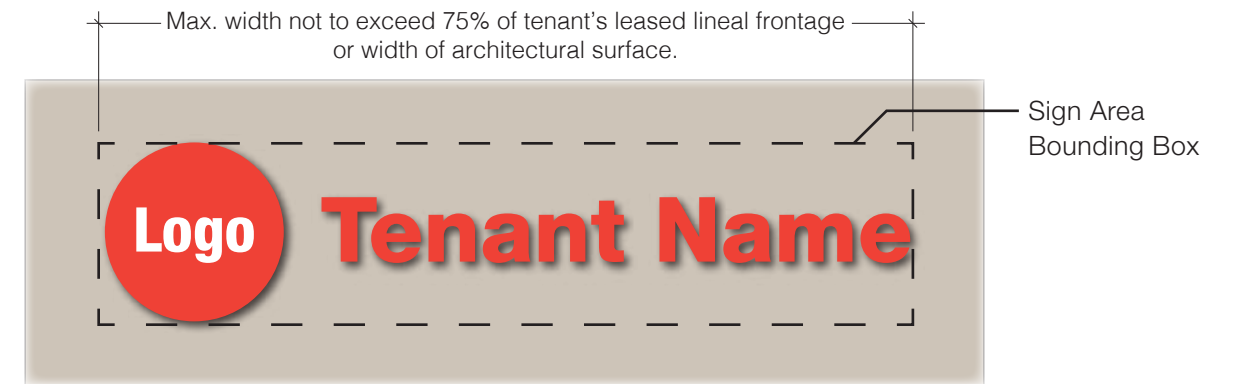
3. Allowable Sign Types

- a. Wall signs: Individual letters and logos that may be unlit or use internal, external or halo lighting. See example details this page.
- b. Freestanding signs: Freestanding directional and menu signs may only be utilized by tenant's with drive-thru windows.
- c. Projecting signs: Signs mounted perpendicular to the building face. Projecting signs may be unlit or use internal, external or halo lighting.
- d. Shingle signs: See page T.6.
- e. A maximum of two lines of text is permitted.

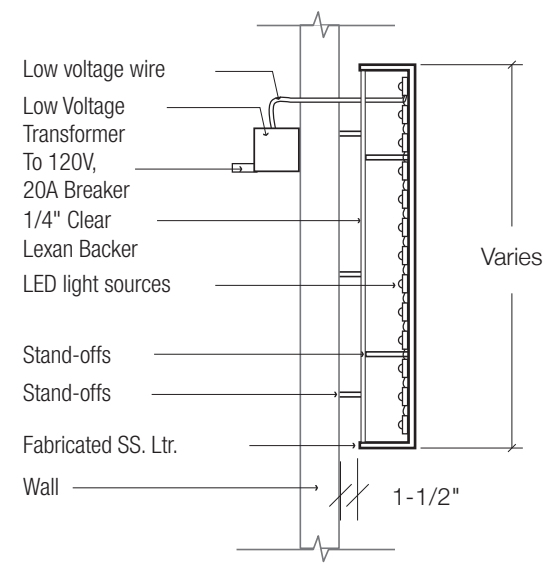
Per Ken Nodder: allow staff discretion on proportionality of major tenant signage.



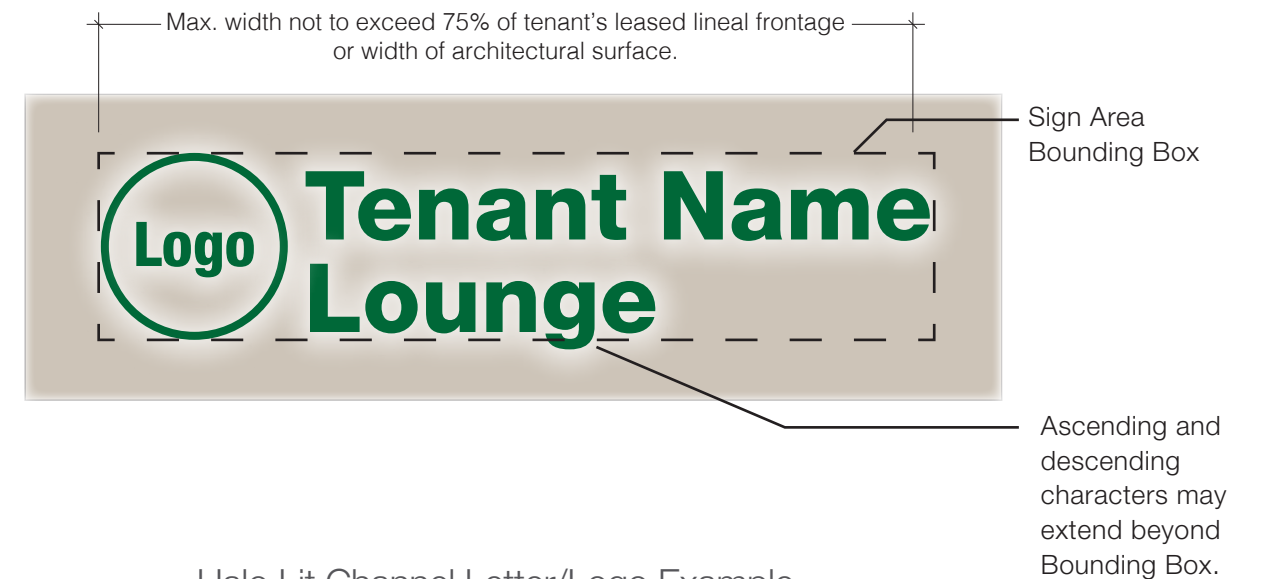
Face Lit Channel Letter/Logo Detail
NTS



Face Lit Channel Letter/Logo Example



Halo Lit Channel Letter/Logo Detail
NTS



Halo Lit Channel Letter/Logo Example

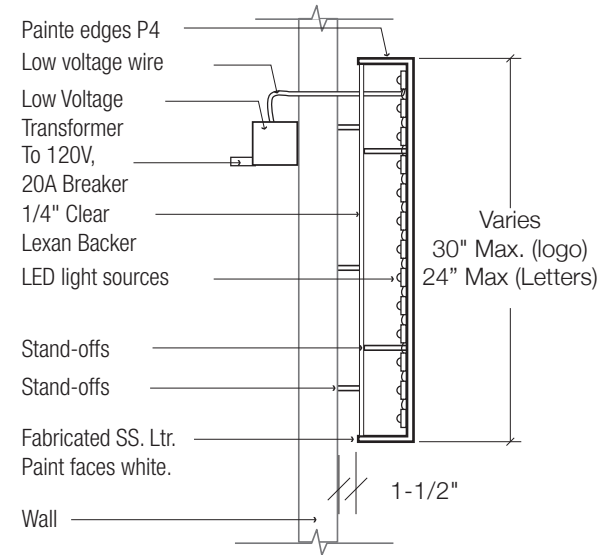
Store Tenant Wall Signs

1. Description - Store Tenant wall mounted signage for the purpose of retail tenant identification facing the street and/or parking areas.
2. General Guidelines
 - a. Signage may be externally lit with overhead fixtures or halo lit letters and shapes as detailed below. No uplit or internally face-lit signs are permitted.
 - b. Tenants may use custom/brand colors with landlord approval.
 - c. All letter edges and trim caps shall be color P4.
 - d. All signs shall be U.L. approved. All wiring, conduits and raceways are to be concealed.
 - e. Light fixtures must utilize LED lamps.
 - f. Overhead gooseneck fixture lighting may be utilized provided fixtures point down. Gooseneck fixtures shall be BK Sign Star with 36" extensions. All fixtures shall be painted dark bronze (BK Lighting color BZP).

3. Letter/Logo Height: Not to exceed 70% of the height of the building fascia that it mounts to or 24" for letters and 30" for logos, whichever is less.

4. Name Width: The overall width of a tenant's name/logo shall not exceed 70% of the width of the tenant's building frontage or width of the architectural surface.

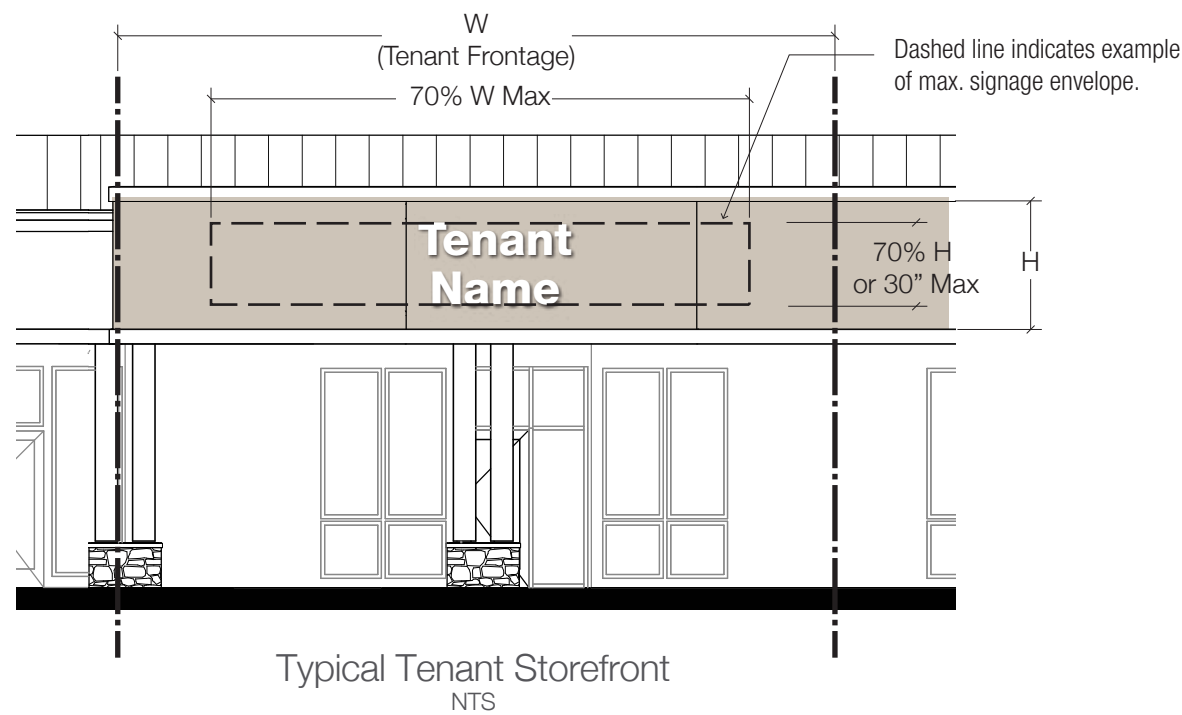
5. A maximum of two lines of text is permitted.



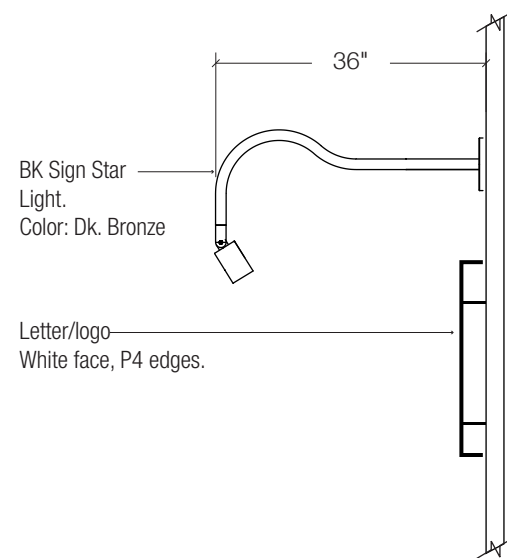
Halo Lit Channel Letter/Logo Detail
NTS



Halo Lit Channel Letter/Logo Example



Typical Tenant Storefront
NTS



Gooseneck Lit Letter/Logo Detail
NTS



Gooseneck Lit Letter/Logo Example

Store Tenant Shingle Sign

1. Description

Pedestrian oriented signs mounted perpendicular to the building facade. Shingle signs can be suspended from an overhang or canopy.

2. General Guidelines

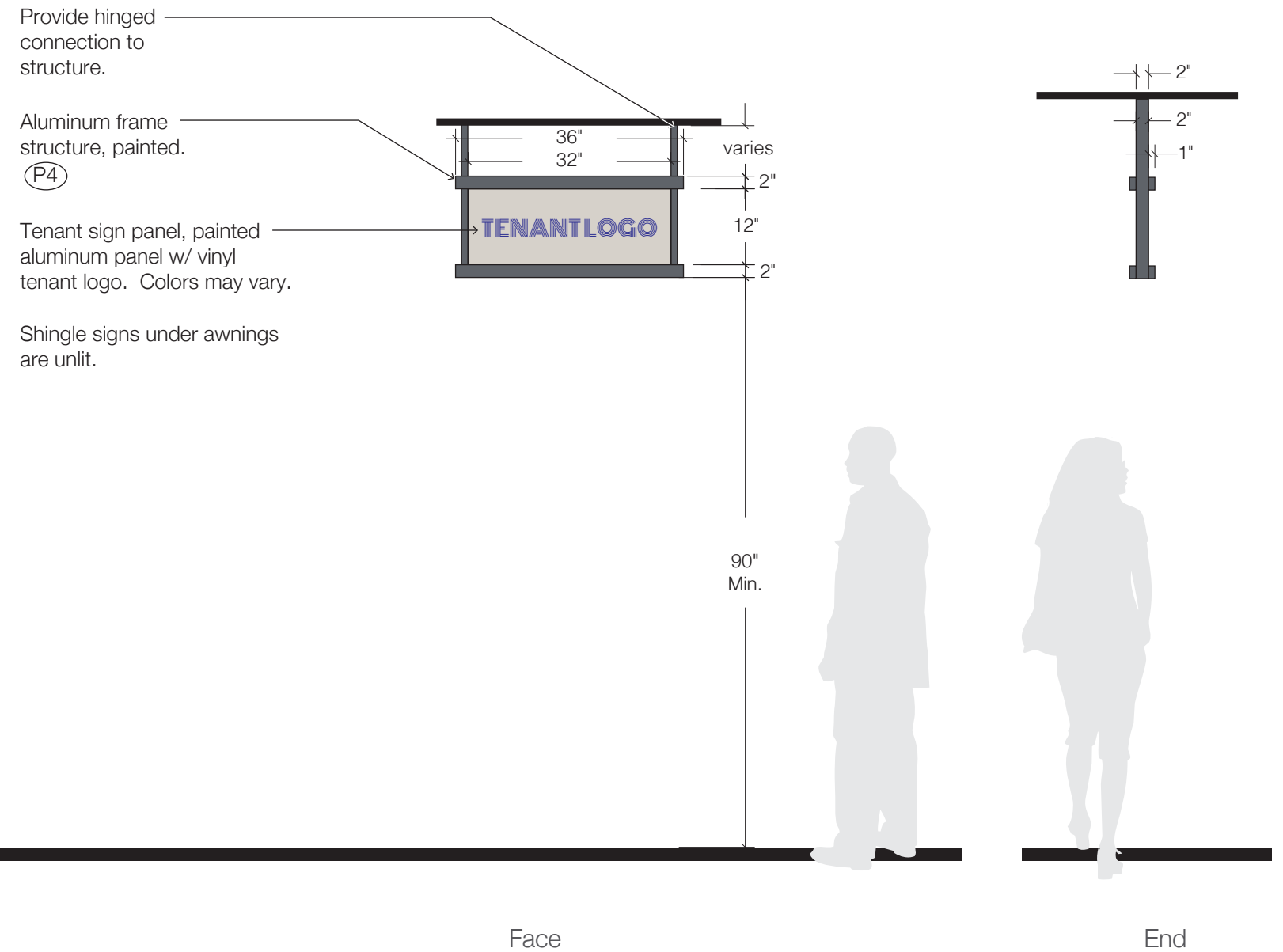
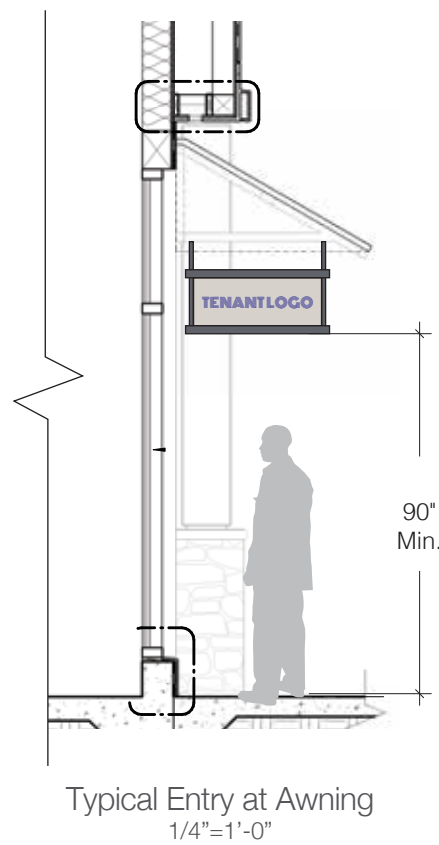
- Tenant's may use custom colors and finishes on Tenant Panels. Tenants are encouraged to use dark backgrounds. White backgrounds are not permitted.
- Signs shall be constructed of architectural grade aluminum with automotive grade painted finishes.
- Shingle signs under awnings are unlit.
- Signs are only permitted on building frontages that provide primary or secondary access to the tenant's space.
- Shingle signs are not permitted along the service drive that spans between Rolling Hills Drive and Rossmoor Parkway.

3. Area: 4 s.f. max.

4. Size: All shingle signs shall be sized per examples shown or smaller if clearance dictates a smaller sign.

5. Clearance: Min. 90" from grade to the bottom of the sign.

6. Number of Signs: One per tenant frontage.





West Elevation



South Elevation



East Elevation



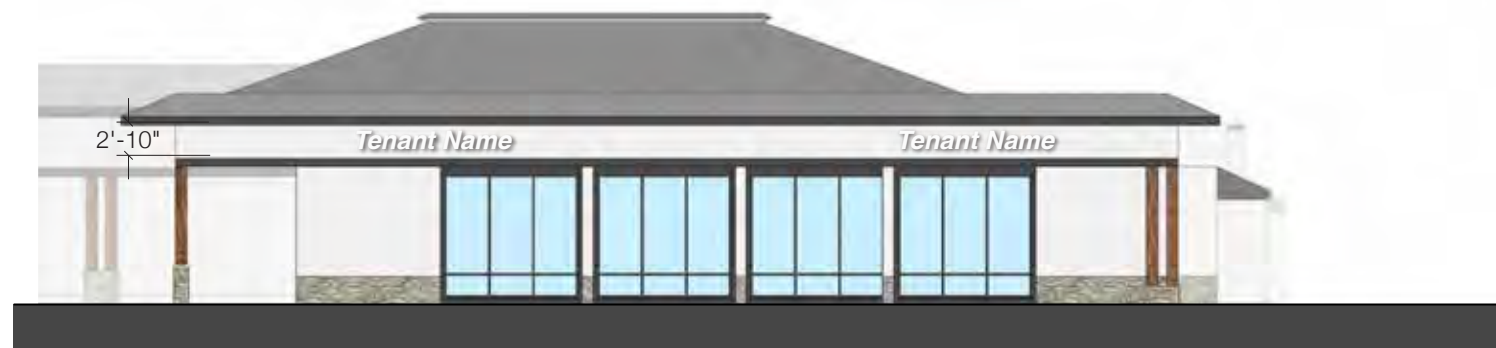
West Elevation



South Elevation



South Elevation



East Elevation



South Elevation



East Elevation



West Elevation



North Elevation



South Elevation



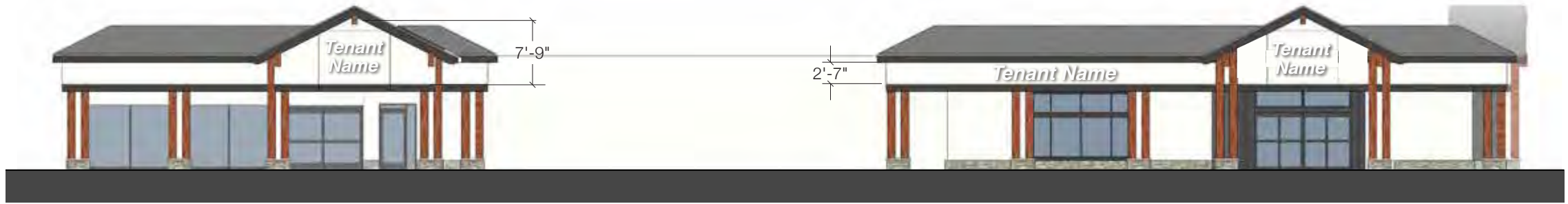
East Elevation



West Elevation



North Elevation



East Elevation



North Elevation



South Elevation



West Elevation



East Elevation



South Elevation



North Elevation



West Elevation



South Elevation



West Elevation



East Elevation



North Elevation

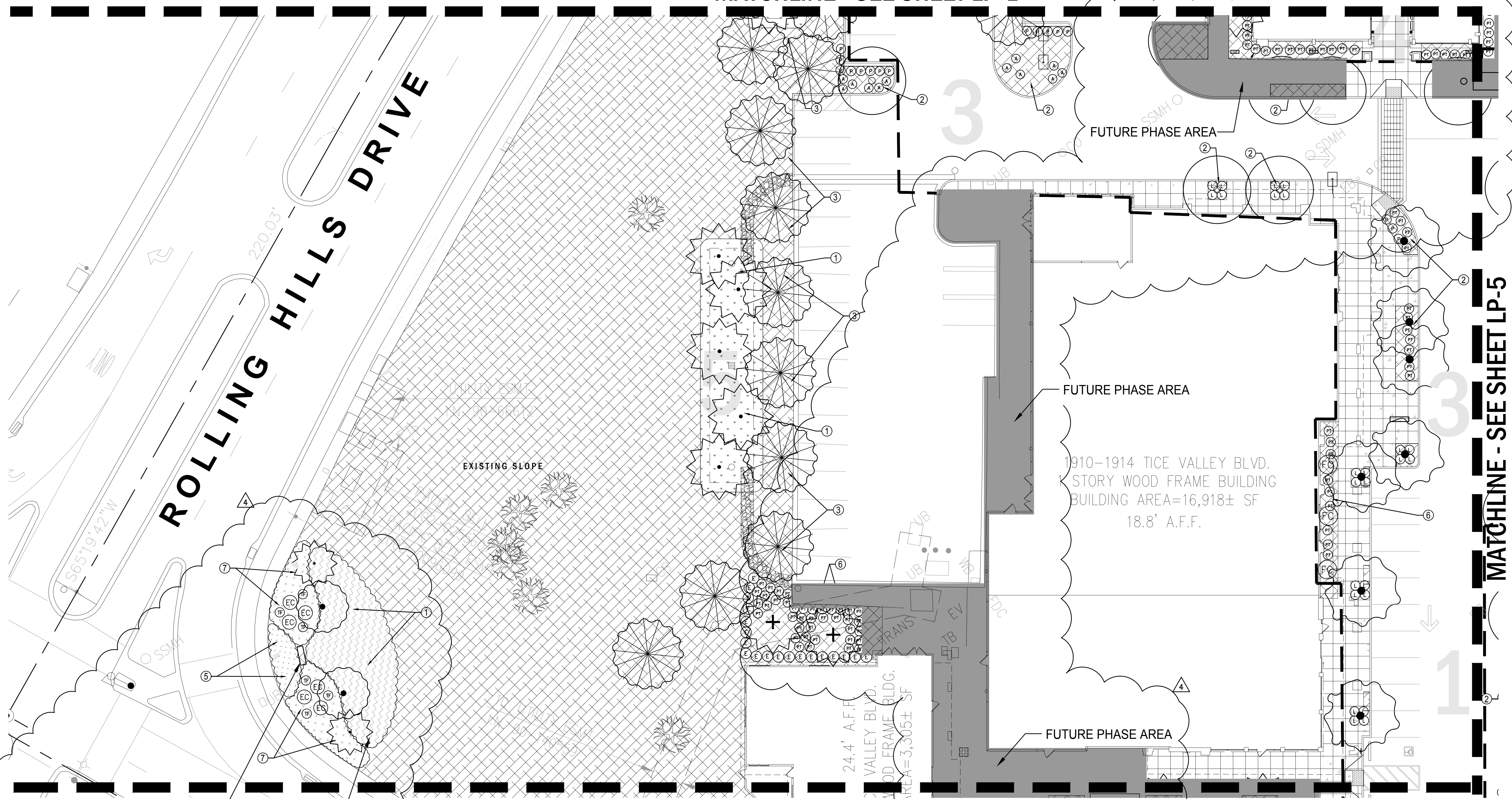
MATCHLINE - SEE SHEET LP-1

OWNER:
 Rossmoor Retail Partners, LLC
 4340 Von Karman Avenue
 Newport Beach, CA 92660
 Phone No. 949.474.0440

J. DONALD HENRY
 ASSOCIATES
 Landscape Architecture & Planning
 2246 N. Santiago Street
 Santa Ana, California 92706
 T: 949.697.7767 | F: 949.527.3587

ROSSMOOR TOWN CENTER
 1900- 1996 Tice Valley Boulevard
 Walnut Creek CA 94595

MATCHLINE - SEE SHEET LP-5



ROLLING HILLS DRIVE

9 S65'19"42" W

220'03"

EXISTING SLOPE

1910-1914 TICE VALLEY BLVD.
 STORY WOOD FRAME BUILDING
 BUILDING AREA=16,918± SF
 18.8' A.F.F.

24.4' A.F.F.
 VALLEY BLVD.
 WOOD FRAME BLDG.
 AREA=3,305± SF

FREESTANDING SIGN - F2

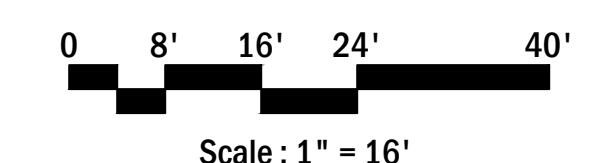
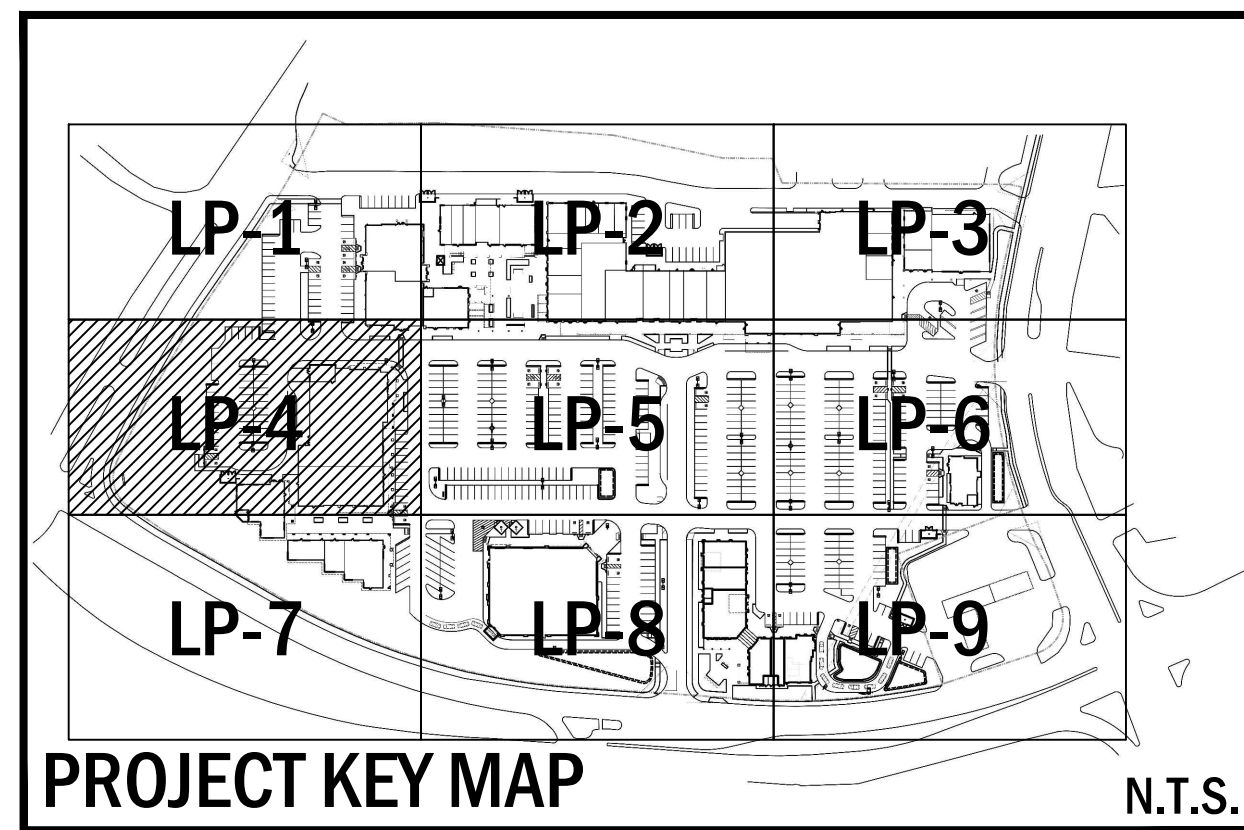
MATCHLINE - SEE SHEET LP-7

NOTE: CLEAR, GRUB AND REMOVE EXISTING JUNIPERS IN THIS ZONE.

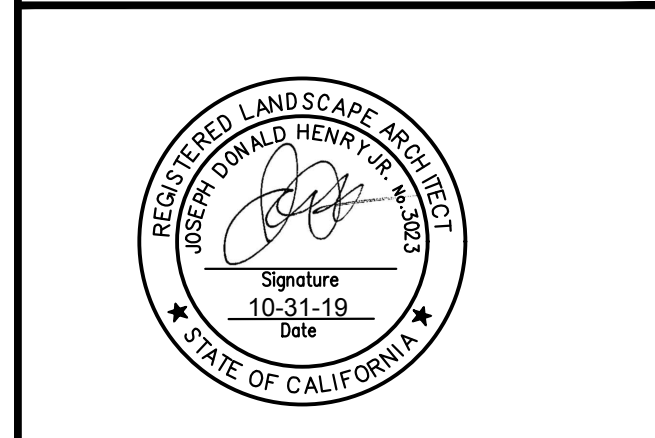
SLOPE AREA NOTE:

1. CLEAR AND GRUB SLOPE PRIOR TO PLANTING PER DIRECTION OWNER'S AUTHORIZED REPRESENTATIVE.
2. ARRANGE FOR EXISTING TREES TO BE TRIMMED PER ARBORIST REPORT. SECURE APPROVAL FROM OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO BEGINNING TREE TRIMMING WORK.

- DELTA 2 SUMMARY:
1. RECONFIGURE DRIP AREAS.
 2. ADD BIO-RETENTION BASIN.
 3. REVISE TREE LAYOUTS.



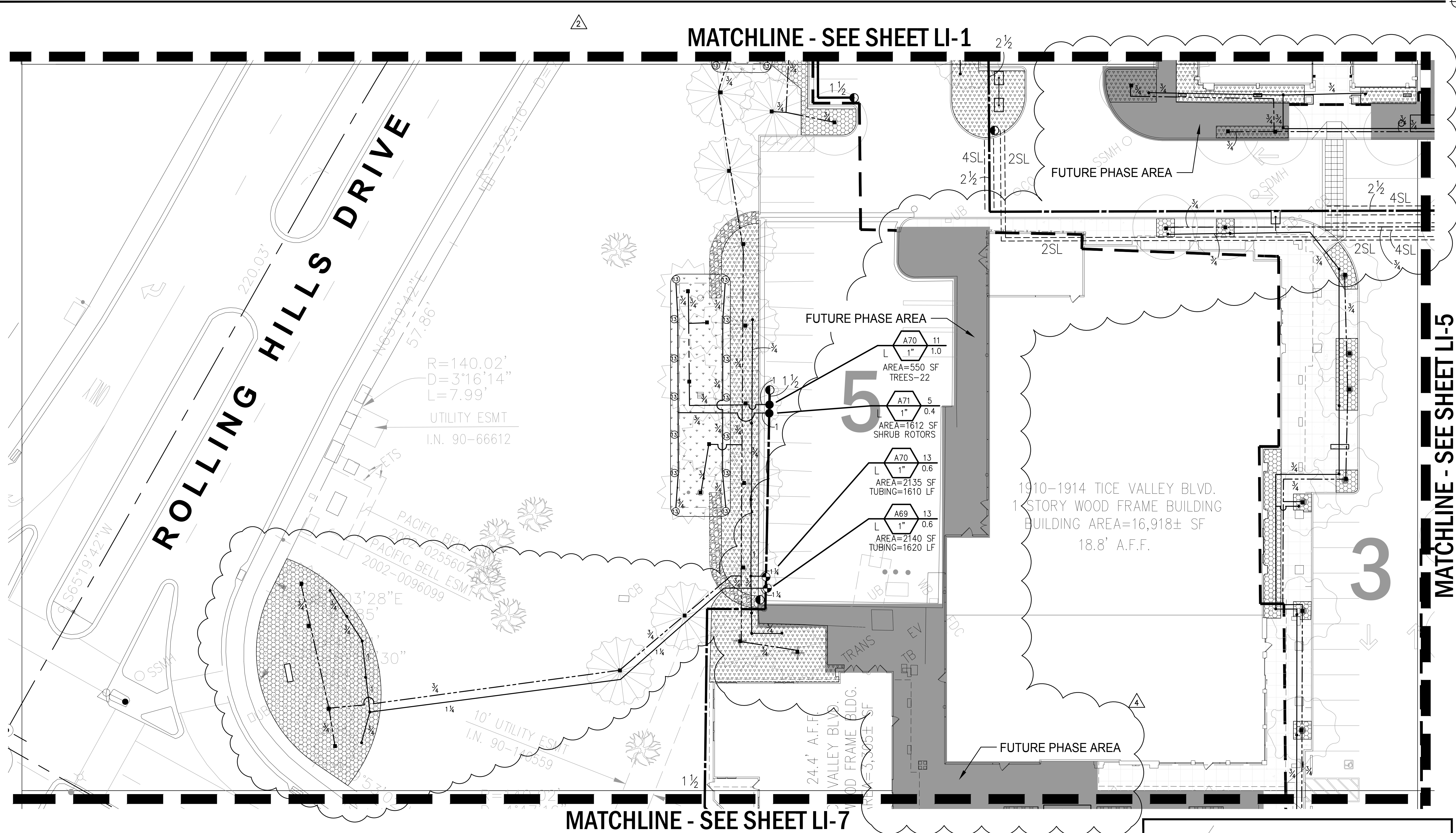
No.	Description	Date
	City Submittal	08/19/16
	City Submittal	10/18/16
	City Submittal	12/16/16
	City Submittal	02/03/17
	Issue for Bid	05/01/17
1	Construction Revision	04/09/18
2	Construction Revision	07/23/18
	Plaza and Kiosks	08/09/18
3	Metal Fence	09/17/18
4	Future Phase / Coordination w/ Civil	03/11/19



TITLE
PLANTING PLAN

Scale
 Drawn By EPM
 Checked By JDH
 Project No. 201617

DWG. NO.
LP-4



OWNER:
 Rossmoor Retail Partners, LLC
 4340 Von Karman Avenue
 Newport Beach, CA 92660
 Phone No. 949.474.0440

J. DONALD HENRY ASSOCIATES
 Landscape Architecture & Planning
 2246 N. Santiago Street
 Santa Ana, California 92706
 T: 949.697.7767 | F: 949.527.3587

ROSSMOOR TOWN CENTER
 1900- 1996 Tice Valley Boulevard
 Walnut Creek CA 94595

City Submittal	08/19/16	
City Submittal	10/18/16	
City Submittal	12/16/16	
City Submittal	02/03/17	
Issue for Bid	05/01/17	
1 Construction Revision	04/09/18	
2 Construction Revision	07/23/18	
Plaza and Kiosks	08/09/18	
3 Metal Fence	09/17/18	
4 Future Phase / Coordination w/ Civil	03/11/19	
No.	Description	Date



TITLE
IRRIGATION PLAN

Scale
 Drawn By EPM
 Checked By JDH
 Project No. 201617

DWG. NO.
LI-4

- DELTA 2 SUMMARY:**
1. RECONFIGURE DRIP AREAS.
 2. ADD BIO-RETENTION BASIN.
 3. REVISE TREE LAYOUTS.

See Sheets LI-10 and LI-11 for Irrigation Legends, Notes.
 See Sheets LI-12 and LI-13 for Water Efficient Worksheet and Water Data.
 See Sheets LI-14 through LI-16 for Irrigation Details.

